



DEVELOPMENT VARIANCE PERMIT NO. DVP00259

ANTONY J HARRIS

LESLIE M HARRIS

Name of Owner(s) of Land (Permittee)

Civic Address: 6470 PTARMIGAN WAY

1. This development variance permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied by this permit.
2. This permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT A, DISTRICT LOT 53, WELLINGTON DISTRICT, PLAN EPP17263

PID No. 028-936-299

3. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is hereby varied as follows:

Section 7.6.3 – Size of Buildings, of the City of Nanaimo "ZONING BYLAW 2011 NO. 4500" requires a maximum height of 3.0m above the curb where the roof pitch is less than 4:12. The proposed increase in height is to 5.47m, a variance of 2.47m.

4. The permittee, as a condition of the issuance of this permit, shall develop the land described herein strictly in accordance with the following terms and conditions and provisions and in accordance with any plans and specifications attached hereto which shall form a part thereof.


Schedule A Location Plan
Schedule B Architect's Letter of Rationale
Schedule C Site Plan, Front Yard
Schedule D Site Plan, Entire Lot
Schedule E Site / Building Cross Section
Schedule F Shed Roof, 4:12 Pitch
Schedule G Survey Plan

5. If the permittee does not substantially commence the construction permitted by this permit within two years of the date of this permit, this permit shall lapse.
6. This permit prevails over the provisions of the bylaw in the event of conflict.
7. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 20TH DAY OF JULY, 2015.



Corporate Officer



Date

GN/In

Prospero attachment: DVP00259

Development Variance Permit DVP00259
6470 Ptarmigan Way

Schedule A

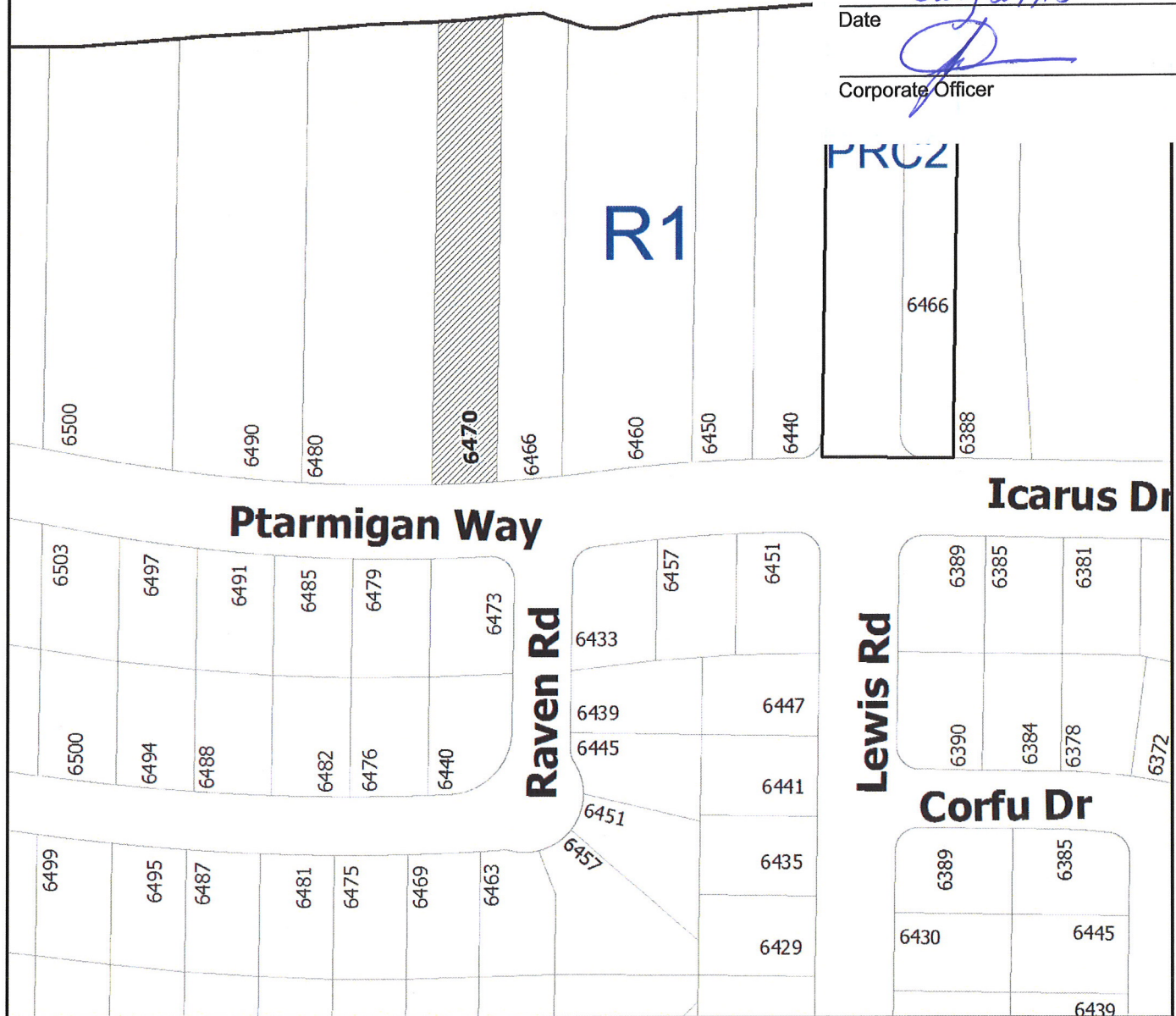
Location Plan

This is Schedule A referred to in the
Development Variance Permit

Date

July 29/15

Corporate Officer



DEVELOPMENT VARIANCE PERMIT NO. DVP00259

LOCATION PLAN

Civic: 6470 Ptarmigan Way
Lot A, District Lot 53, Wellington District,
Plan EPP17263



**Subject
Property**

Architect's Letter of Rationale



RAYMOND
de BEELD
ARCHITECT Inc.

755 Terminal Avenue, Nanaimo, BC V9S 4K1
Tel: (250) 754-2108 Fax: (250) 754-2118
Email: info@rdbarchitect.ca
Web: www.rdbarchitect.ca

This is Schedule B referred to in the
Development Variance Permit

Date

Corporate Officer

May 8, 2015

Development Permit Variance

Harris Residence - 6470 Ptarmigan Way, Nanaimo, B.C.

Requirement:

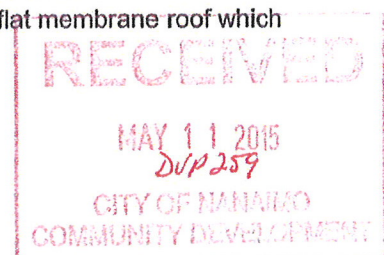
- Maximum 5.5m height above street curb, provided $\geq 80\%$ of the roof area in plan is sloped 4:12 or greater; otherwise 3.0m height above street curb is required.

Proposed Variance:

- Two options attached, one showing the front roof as a compliant gable roof option, and the other, showing the preferred non compliant shed roof option. Essentially moving the front ridge line from the center to the east side of the house (making it non conforming due to combining two 4:12 roof planes into one 2:12 roof plane).
- With the proposed variance, the 4:12 or greater roof slope in plan would be 43%. Thus a maximum height of 3.0m would be applicable. According to the bylaw, the overall calculated building height would be 2.5m higher, even though the absolute building height does not change. A 2.5m height variance is requested.

Rationale:

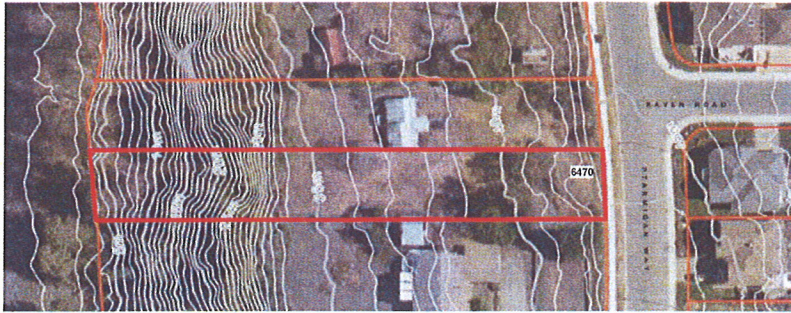
- Interior and exterior architectural style is contemporary west coast, typified by low slope shed roofs.
- Shed roof style permits sustainable features such as daylighting and passive ventilation. Rear shed roof provides daylighting for interior living spaces with view out to ocean and thermal chimney ventilation with open interior stair and double height rooms).
- Roof style more consistent if roof over front portion of house is consistent with rear roof.
- If a 4:12 roof pitch was used for the front portion of house, the perimeter wall height on the east facade would be exceeded.
- No change in height of overall building mass compared to compliant gable roof option.
- No reduction in view for uphill neighbours between gable or shed roof options.
- Due to a young family, it is desired to keep all the bedrooms upstairs and have all the living spaces accessed by the garage, front yard, and large rear deck.
- Site constrained by maximum 20% driveway slope (to lower the house).
- Site constrained by geotechnical setback (to move house north and further downward within the 20% driveway slope constraint).
- Zoning generally biased towards hip or gable style roofs. Low slope roofs, and upper overhangs of shed roofs penalized due to roof height calculation methods.
- Slope roofs to be finished in metal, providing a cleaner look than a flat membrane roof which typically is cluttered with vegetation debris and ventilation hoods.



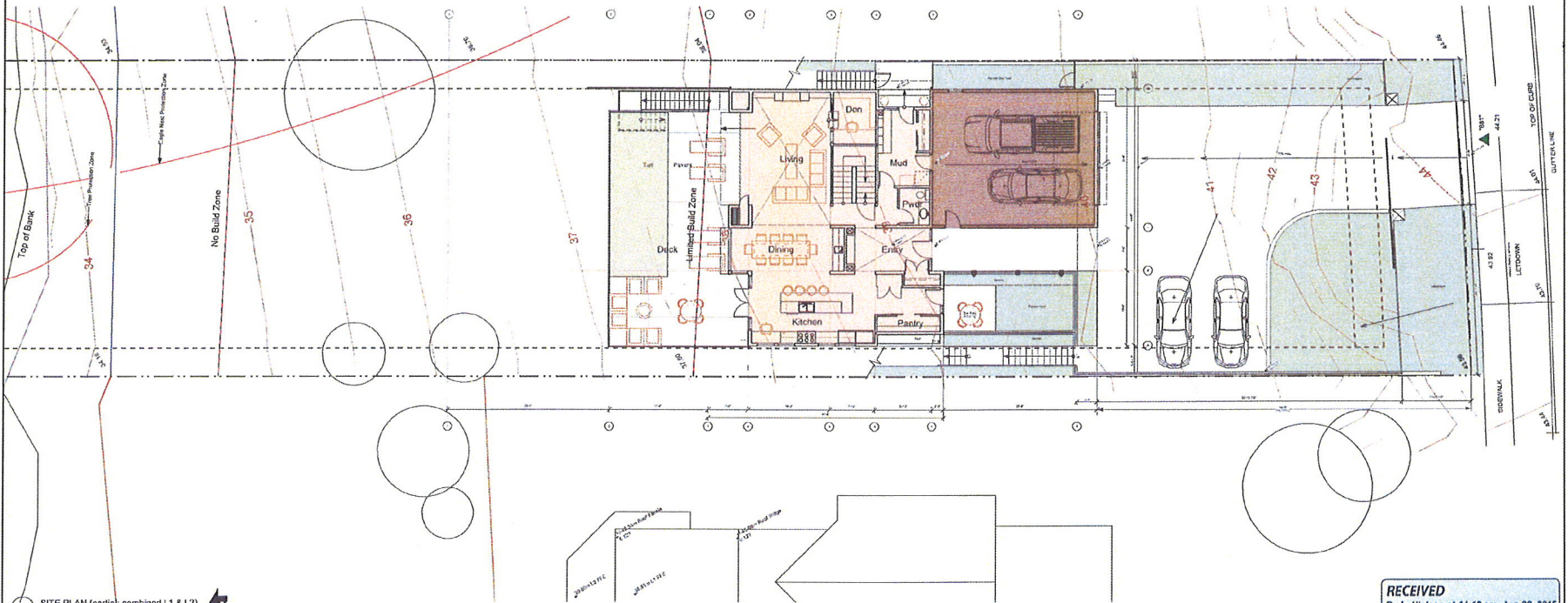
Development Variance Permit DVP00259
6470 Ptarmigan Way

Schedule C

Site Plan, Front Yard



1 CONTEXT AIR PHOTO
N.T.S.



2 SITE PLAN (partial, combined L1 & L2)
Scale: 1/8" = 1'-0"

**RAYMOND
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725 Terminal Ave. North, Nanaimo, B.C. V9S 4A1
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Email: ray@raymondarchitect.com
www.raymondarchitect.com

HARRIS RESIDENCE
6470 Ptarmigan Way, Nanaimo, BC
Lot A, District Lot 53, Wellington District, Plan EPP17263.
PID: 028-936-299

**SITE PLAN
(w/ L2 Floor Plan)**

No.	Date	Revised Notes
1	Apr 10 2014	Issue for Development
2	May 10 2014	Issue for Review
3	May 10 2014	Issue for Review
4	June 8 2015	Issue for Review

This is Schedule C referred to in the
Development Variance Permit

Date

Corporate Officer

RECEIVED
By L. Nielsen at 11:13 am, Jun 09, 2015

DATE	BY	REVISION
1434	As Noted	A1.1
June 8, 2015		
DATE		
DATE		

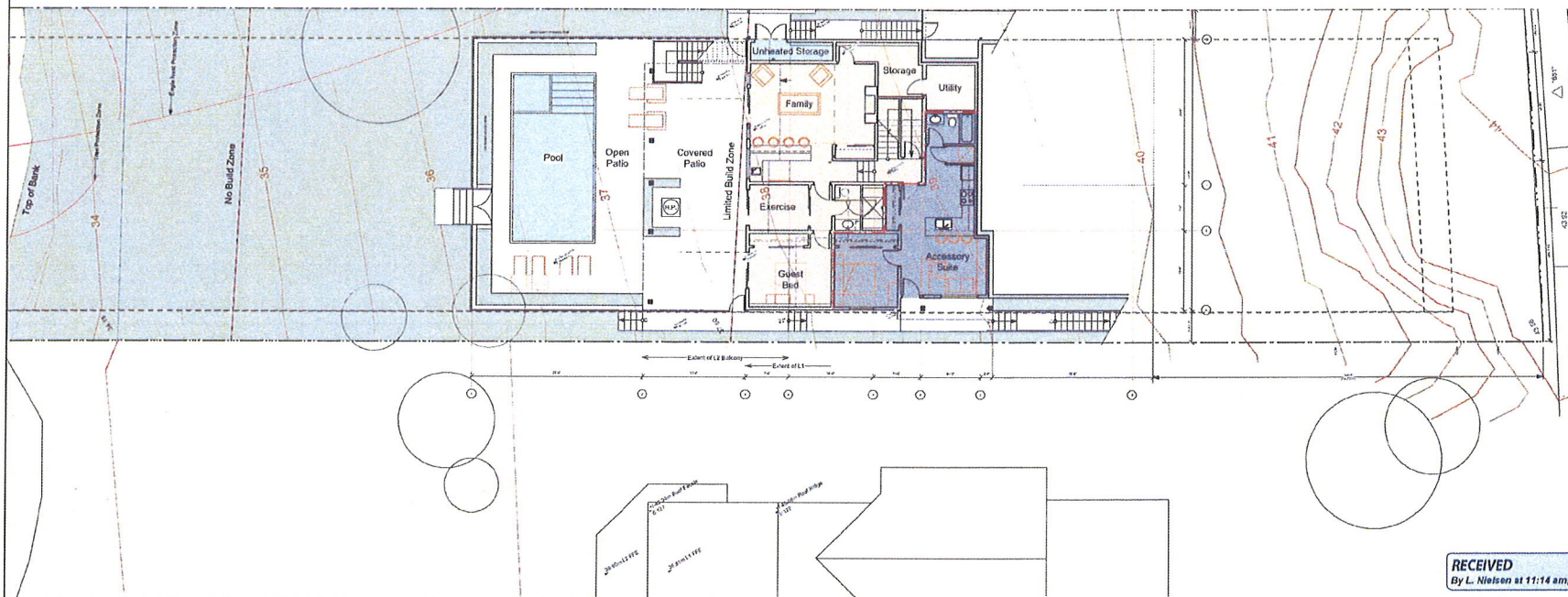
Development Variance Permit DVP00259
6470 Ptarmigan Way

Schedule D

Site Plan, Entire Lot



1 CONTEXT AIR PHOTO
N.T.S.



**RAYMOND
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HARRIS RESIDENCE
6470 Ptarmigan Way, Nanaimo, BC
Lot A, District Lot 53, Wellington District, Plan EPP17263.
PID: 028-536-259

**SITE PLAN
(with L1 Floor Plan)**

No.	Date	Revised Notes
1	Apr 23, 2015	Issue for Consultant Coordination
2	May 12, 2015	Issue for Review
3	May 11, 2015	Issue for Building Permit
4	June 8, 2015	Issue for Building Permits

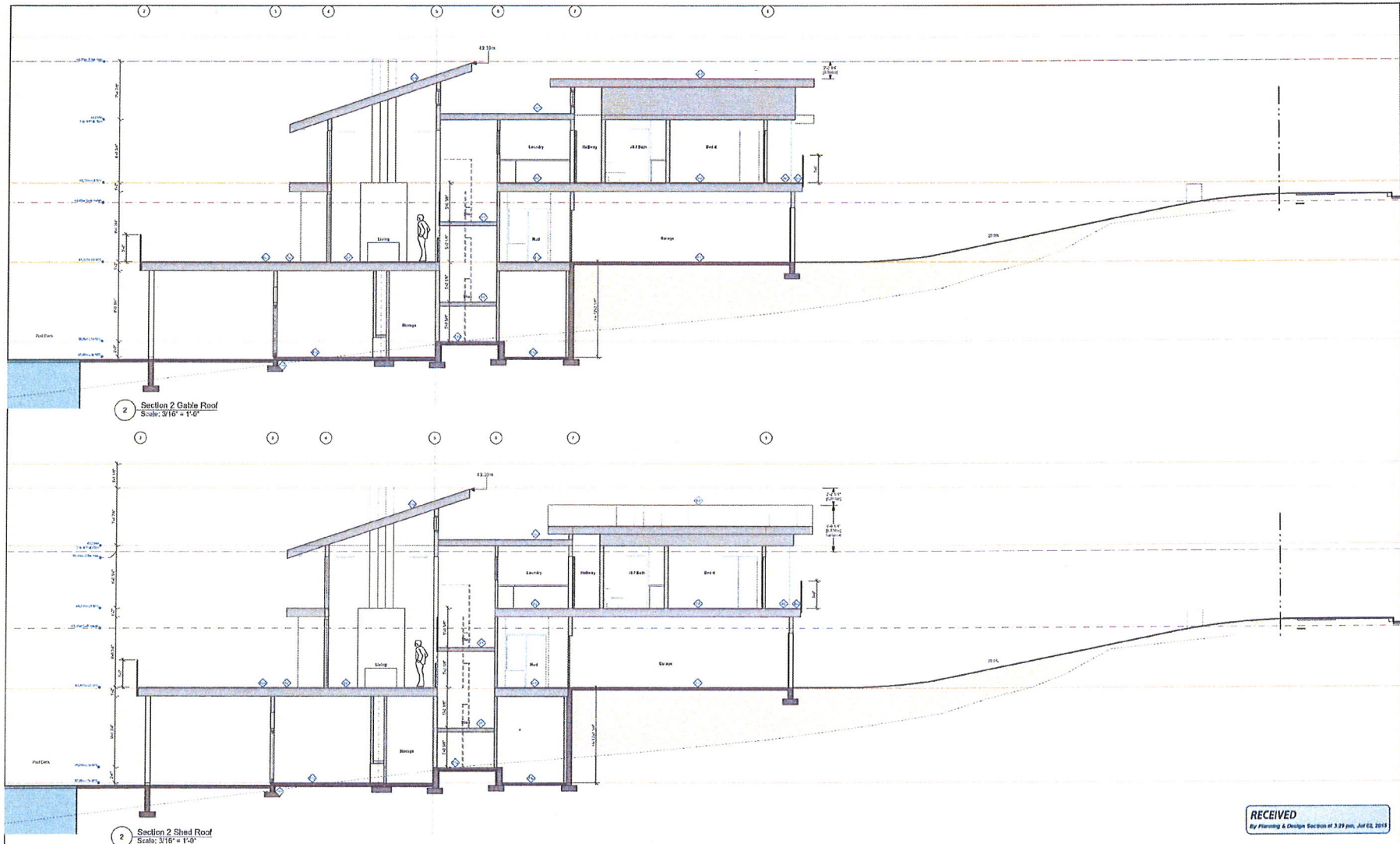
This is Schedule D referred to in the
Development Variance Permit

Date

Corporate Officer

RECEIVED By L. Nielsen at 11:14 am, Jun 09, 2015	
PROJECT 1434	REVISION Ae Noted
DATE June 8, 2015	A1.1
DRAWN Harris Residence2 15.vmx	

Site / Building Cross Section



RECEIVED
By Planning & Design Section at 5:29 pm, Jul 6, 2015

RAYMOND de BEELD ARCHITECT INC.
752 Terminal Ave. North, Nanaimo, B.C. V9S 4K1
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HARRIS RESIDENCE
6470 Ptarmigan Way, Nanaimo, BC

Lot A, District Lot 53, Wellington District, Plan EPP17263.
PID: 028-936-299

SHEET TITLE
SECTION 1

Rev.	Date	Revised By	Revised For
1	April 2015	Raymond de Beeld	Schedule E Consultation/Revision
2	May 2015	Raymond de Beeld	Revised for Schedule E
3	May 15, 2015	Raymond de Beeld	Revised for Schedule E
4	June 2, 2015	Raymond de Beeld	Revised for Schedule E

This is Schedule E referred to in the
Development Variance Permit

Date

Corporate Officer

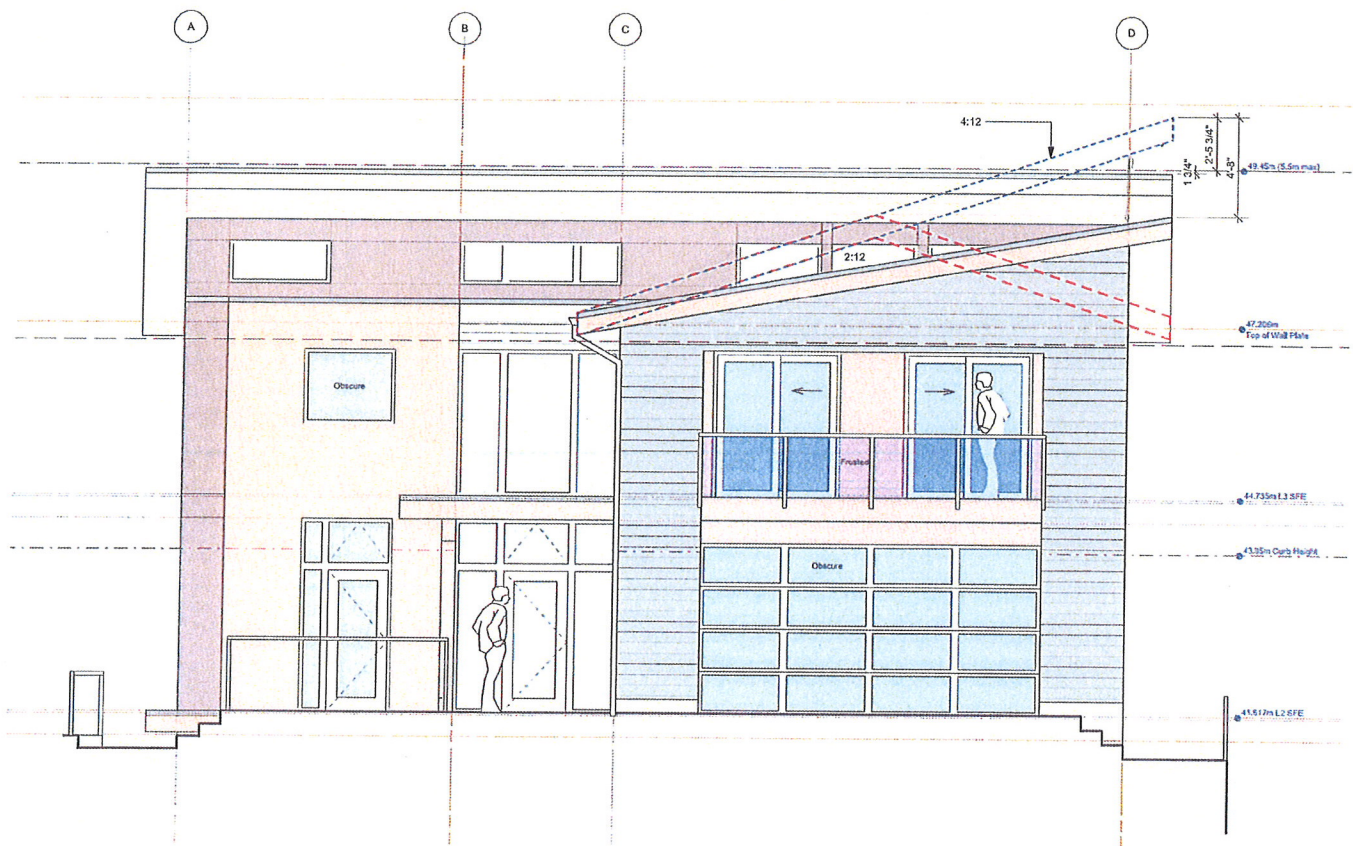
Drawn	RIS	Entered	RdB
Sheet	1434	Sheet	
Date	As Noted		
Date	June 30, 2015		
Drawn	Harris Residence2 15.vwx		

A8.3

Development Variance Permit DVP00259
6470 Ptarmigan Way

Schedule F

Shed Roof, 4:12 Pitch



This is Schedule F referred to in the
Development Variance Permit

Date

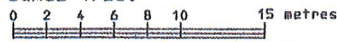
July 29/15

Corporate Officer

Survey Plan

B.C. LAND SURVEYOR'S CERTIFICATE OF PROPOSED HOUSE LOCATION ON:
LOT A, PLAN EPP17263, DISTRICT LOT 53, WELLINGTON DISTRICT.

SCALE 1: 250



DISTANCES AND ELEVATIONS ARE IN METRES.

NOTES:

CIVIC ADDRESS: 6470 PTARMIGAN WAY

LOT DIMENSIONS ARE DERIVED FROM REGISTERED PLANS.

ELEVATION DATUM IS DERIVED FROM
INTEGRATED SURVEY CONTROL MONUMENTS.

HOUSE DESIGN FROM RAYMOND de BEELD ARCHITECT Inc.
DRAWINGS DATED MAY 04, 2015.

THE UNDERSIGNED CONFIRMS THAT HE HAS BEEN
RETAINED BY TONY HARRIS TO PROVIDE
FOUNDATION LAYOUT IN ACCORDANCE WITH THE
FOUNDATION LOCATION SHOWN ON THIS PLAN.

STANDARD IRON POST FOUND WITH
ELEVATION AS PER FLG PLAN.

▲ HUB/SPIKE/CONCRETE NAIL FOUND.

41.57 DENOTES PROPOSED GARAGE SLAB.

FLG 37.7 DENOTES TYPICAL SPOT ELEVATION OF
FINAL LOT GRADE (FLG) DERIVED FROM
THE FINAL LOT GRADING PLAN.

FG 37.72 DENOTES TYPICAL SPOT ELEVATION OF PROPOSED FINISHED GRADE (FG).

3
PLAN VIP75893

MAXIMUM HOUSE HEIGHT CALCULATION BY CURB

TOP OF CURB AT CENTER
OF LOT FRONTAGE 43.95
MAX HEIGHT FLAT ROOF + 3.00
CON MAXIMUM ROOF PEAK = 46.95


PROPOSED LEVEL 1b FLOOR	37.09
APPROX. HEIGHT TO LEVEL 1a +	0.61
PROPOSED LEVEL 1a =	38.50
APPROX. HEIGHT TO LEVEL 2 +	3.12
PROPOSED LEVEL 2 =	41.62
APPROX. HEIGHT TO LEVEL 3 +	3.12
PROPOSED LEVEL 3 =	44.74
APPROX. HEIGHT TO ROOF PEAK +	4.68
PROPOSED ROOF PEAK =	49.42

MINIMUM BASEMENT FLOOR
ELEVATION GRAVITY
SANITARY = 40.705

MINIMUM BASEMENT FLOOR
ELEVATION GRAVITY
STORM = 40.702

PROPOSED ROOF PEAK 49.42
CON MAXIMUM ROOF PEAK -46.95
VARIANCE REQUIRED = 2.47

THIS PLAN PURPORTS TO POSITION ONLY THE ACTUAL AND/OR PROPOSED IMPROVEMENT(S) SHOWN RELATIVE TO ONLY THE BOUNDARIES SHOWN OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S).
THIS PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY OTHER ACTUAL OR PROPOSED IMPROVEMENT(S) RELATIVE TO ANY BOUNDARY OF OR APPURTENANT TO THE ABOVE DESCRIBED PARCEL(S).
THIS PLAN IS NOT TO BE USED TO RE-ESTABLISH BOUNDARY LINES.

 **WILLIAMSON & ASSOCIATES**
PROFESSIONAL SURVEYORS © 2015
3080 BARONS ROAD HANAIHO, B. C. V9T 4B5
PHONE: 250-756-7723 FAX: 250-756-7724
EMAIL: WAPS@TELUS.NET
FILE: 14156-2 (IBASE PLAN 10010)

A
PLAN EPP17263
AREA = 0.199 ha

AREA OUTSIDE OF
GEOTECH COVENANT PLAN
EPP17264 = 669 m²

PATIO / POOL

PLAN
AREA

OPEN DECK

13.56
FOUNDATION ON
COVENANT BOUNDARY

PROPOSED
CONCRETE
FOUNDATION

A diagram of a rectangular lot. The left boundary is labeled "COVERED ENTRY" vertically. The top boundary is labeled "8.69". The right boundary is labeled "7.32". The bottom boundary is labeled "41.57". The area of the lot is labeled "41.57" in a box. The lot is labeled "FLG 40.1" and "FG 41.57".

PLAN EPP17263

This is Schedule G referred to in the
Development Variance Permit

Date _____

Corporate Officer

MINIMUM GARAGE SLAB ELEVATION
PER CITY OF NANAIMO MANUAL OF
ENGINEERING STANDARDS
AND SPECIFICATIONS.

BACK OF SIDEWALK ELEVATION: 44.16
MAXIMUM FALL: 2.96

NIN. GARAGE SLAB ELEVATION: = 41.20

THE SIGNATORY ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES THAT MAY BE SUFFERED BY A THIRD PARTY AS A RESULT OF ANY DECISIONS MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

THIS PARCEL MAY BE SUBJECT TO REGISTERED CHARGES
& PERMITS:
- COVENANTS EV117534, CA2811001 & CA2811003;
THIS PLAN DOES NOT PURPORT TO VERIFY
COMPLIANCE WITH THE RESTRICTIONS THEREIN.

THIS BUILDING LOCATION CERTIFICATE HAS BEEN
PREPARED IN ACCORDANCE WITH THE MANUAL OF
STANDARD PRACTICE AND IS CERTIFIED CORRECT
THIS DATE OF: MAY 08, 2015.

Brock Williamson
MNXR8F

Brock E. J. Williamson B. C. L. S.
THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED.